

Summary

Parcel Number 00001/00012/025
Location Address 925 MERCEDES ST
Legal Description PT OF LOT 26 DIXIE HTS S/D
(Note: Not to be used on legal documents)
Class R3-Residential
(Note: This is for tax purposes only. Not to be used for zoning.)
Tax District 01 CITY OF ALBANY (District 01)
Millage Rate 47.708
Acres 2.02
Homestead Exemption No (S0)
Landlot/District N/A

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Owner

GOBUCKS PROPERTY MANAGEMENT FIRM
LLC
322 DAMON DR
JESUP, GA 31546

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Residential	Res-Dixie Heights	Front Feet	87,912	216	407	2.02	1

Residential Improvement Information

Style 1 Family (Detached)
Heated Square Feet 1600
Interior Walls Finished
Exterior Walls Metal/Aluminum
Foundation Crawl/Masonry
Attic Square Feet 0
Basement Square Feet 0
Year Built 1929
Roof Type Asphalt Shingle
Flooring Type Finished
Heating Type Hot Water/Steam
Number Of Rooms 7
Number Of Bedrooms 3
Number Of Full Bathrooms 2
Number Of Half Bathrooms 0
Number Of Plumbing Extras 3
Value \$37,300
Condition Average
Fireplaces\Appliances Pre-fab 1 sty 1 Box 1
House Address 925 MERCEDES ST

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
Site Imp: C	2023	0x0 / 1	0	\$0

Permits

Permit Date	Permit Number	Type	Description
06/06/2000	67	67-NONAGREEMT	BOE/NO CHANGE 08082000 '00 EYB DEMO GARAGE REPAIR PRMT 925 MERCEDES
10/04/1995	24777	06-ROOF/RES	BOE/NO CHANGE 08082000 '00 EYB DEMO GARAGE REPAIR PRMT 925 MERCEDES
04/12/1995	23802	12-DEMO/RES	BOE/NO CHANGE 08082000 '00 EYB DEMO GARAGE REPAIR PRMT 925 MERCEDES
09/14/1992	92/10/05	65-APPEAL RES	BOE/NO CHANGE 08082000 '00 EYB DEMO GARAGE REPAIR PRMT 925 MERCEDES

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
2/28/2024	5172 54		\$32,500	Fair Market - Improved	FERN COTTAGE HOLDINGS GA LLC	GOBUCKS PROPERTY MANAGEMENT FIRM LLC
12/19/2022	5047 334		\$0	15 LOVE & AFFECTION/GIFT	LLF ACCOMODATIONS 2 LLC	FERN COTTAGE HOLDINGS GA LLC
7/6/2022	4997 296		\$387,500	09 MULTI-PARCEL	STEWART JOHN R & HERREN VINCE H	LLF ACCOMODATIONS 2 LLC
10/28/1999	2024 126	1 73	\$135,000	09 MULTI-PARCEL	GABEL ARTHUR B	STEWART JOHN R & VINCSON H HERREN
7/15/1988	942 14	1 73	\$0	Unqualified	GABEL, LOTTIE BLAIR	GABEL, ARTHUR B.

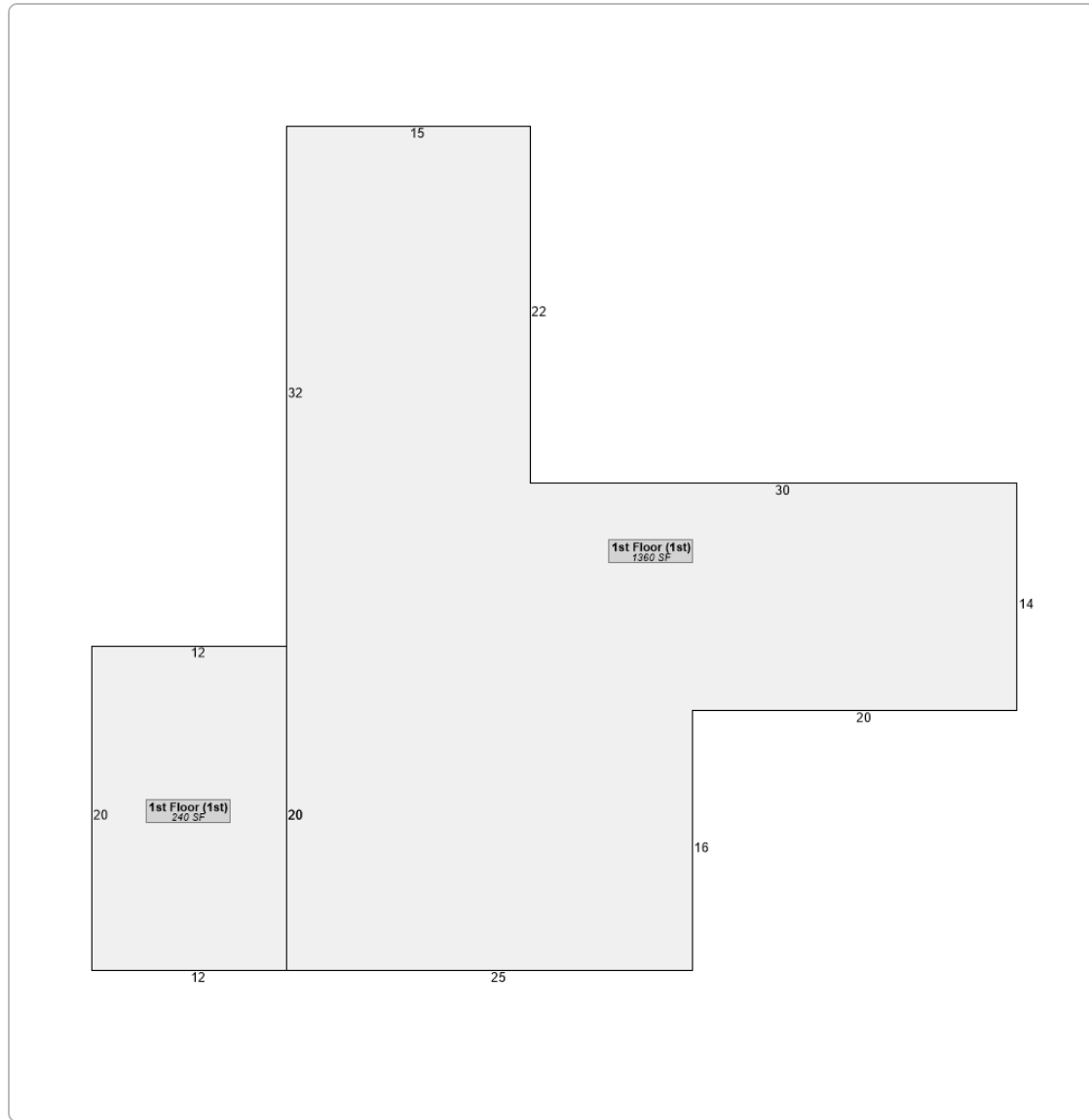
Valuation

	2025	2024	2023	2022	2021
Previous Value	\$48,700	\$48,700	\$35,340	\$35,340	\$35,340
Fair Market Land Value	\$11,400	\$11,400	\$11,400	\$11,400	\$11,400
+ Fair Market Improvement Value	\$37,300	\$37,300	\$37,300	\$23,940	\$23,940
+ Fair Market Accessory Value	\$0	\$0	\$0	\$0	\$0
= Fair Market Value	\$48,700	\$48,700	\$48,700	\$35,340	\$35,340
Assessed Land Value	\$4,560	\$4,560	\$4,560	\$4,560	\$4,560
+ Assessed Improvement Value	\$14,920	\$14,920	\$14,920	\$9,576	\$9,576
+ Assessed Accessory Value	\$0	\$0	\$0	\$0	\$0
= Assessed Value (40% FMV)	\$19,480	\$19,480	\$19,480	\$14,136	\$14,136

Photos



Sketches



No data available for the following modules: Rural Land, Conservation Use Rural Land, Forest Land Protection, Commercial Improvement Information, Mobile Homes, Prebill Mobile Homes.

The Dougherty County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

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